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**STRAWBERRYFIELDSHAYDENHOA.COM**



### **MEDIATION: Buildings without approval**

The Board took enforcement action against two homeowners who constructed outbuildings without prior written approval of the Board, pursuant to Rules 1.19 of the Rules and Regulations for Strawberry Fields.

The Board did not grant approval for the outbuildings, as the Board decided that the metal siding and one metal roof did not “aesthetically conform” to the homes in the area pursuant to Rule 1.19. When the legal relations of parties are unclear, or ambiguous, Idaho law allows the Board to seek a “declaratory judgment” from the Court to declare what the law and relations between the parties are.

So the Board filed a request for declaratory judgment seeking the Court’s clarification and declaration that it had the authority to take enforcement action against the homeowners.

This matter proceeded to mediation with a mediator. At the mediation, the Board’s representatives and the homeowners agreed that the homeowners would pay \$2,500.00 each to the HOA, to settle the matter, and that the outbuildings would be grandfathered- in.

### **Board Election**

Currently, there are 7 positions on the Board. These terms are staggered, three-year terms pursuant to Section 5.1 of the Bylaws of Strawberry Fields Owners Association, Inc.

There are two positions up for election this year. Additionally, there is a vacancy on a seat that’s term expires in 2021. So there are a total of three positions open for election.

In prior years, there was not a quorum of the HOA to elect the Directors. Pursuant to section 5.5, these may be filled by a majority vote of the remaining members of the Board, as the terms expire and the positions become vacant.

There was a quorum at the annual meeting this year. The membership voted to conduct the election by mail-in ballot, and that the top-two vote winners would each get a three-year seat on the Board, and the third place winner, would get the two-year seat on the Board.

### **BOARD MEMBER ELECTION PROCESS**

At the annual membership meeting, the members voted to do a MAIL IN BALLOT

As noted from legal counsel, there are THREE open spots on the Board. The top two ballot winners will serve for a three year term and the third ballot winner will serve a two year term.

Each volunteer candidate will have until October 18, 2019 to submit their short bio and picture to the management office. NO volunteer forms will be accepted after this date. We have already received several bios.

**IF YOU WISH TO VOLUNTEER AS A CANDIDATE, YOU MUST SUBMIT YOUR BIO AND PICTURE NO LATER THAN OCTOBER 18, 2019 TO ABC MANAGEMENT.**

Ballots and bios will be sent out to the membership by October 25, 2019 to vote for three Board members.

The roll call ballot by membership must be returned to ABC Management no later than November 25, 2019. No ballots will be accepted after this date.

A five person committee has volunteered to count the mail in ballots.

Once the ballots have been counted , your new Board of Directors will be announced via newsletter.

IF you are not in good standing with the association, you may NOT serve as a Board member as noted in Section 2.3 of the By Laws for Strawberry Fields Owner’s Association, Inc.



# Financials

Answers regarding budget expenses

**Reserve account**—2016 balance \$100,777.35

**2016**— The reserve was reduced by \$10,000 to cover expenses for improvements in building monument planter walls and roundabout improvement.

**2017**—The balance was reduced by \$27,000 to cover replacement of all fencing along Prairie from pressboard to vinyl. Repaired broken, bent and damaged panels throughout the community. Replaced several trees along Prairie that were ran over by motorist and a few on Honeysuckle including haul away of debris

**2019**— Reserve reduced by \$10,000 to cover end of season, water increase and legal fees.

The balance in the Reserve account is \$64,139.51

**Legal Fees**—Estimated at \$20,000 for 2018. The actual cost in 2018 was significantly less than estimated and was resolved through mediation this year. Entering 2020, the Board does not anticipate that estimation to be \$7,000 as the related matter has been resolved through a mediation agreement.

**Landscaping** —The landscape costs were less than the contract amount to save on unexpected expenses.

**Water Irrigation** —Concerns regarding irrigation water. The costs paid as shown below indicate that water

consumption has been stable with exception of 2018 in which rates increased. 2019 shows that water was conserved to accommodate that increase and costs were considerably less.

2015—\$10,007.00 2016- \$10,561.30 2017- \$13,660.90 2018- \$18,298.77 (less than budget)

2019- \$ 5,005.89 to date (final invoice to be provided in October)



**Hopefully, this clears up any confusion and misinformation.**

## ASSOCIATION MEMBER CLARIFICATION REQUESTS



- ABC Management does not solely sign checks. The Board Member(s) review and sign when approved with ABC as additional signor. The records are reviewed and reports provided.
- Prestige Landscape Maintenance Inc and A Better Choice Inc are related entities chosen by the Board for management and landscaping.
- Fencing replacement and repairs were completed by an independent contractor not affiliated with ABC to replace the fiberboard slats from Prairie to Chomper's Café with two tone (white/tan) vinyl. The company continued repairing and replacing various fiberboards throughout the community that were broken or warped.

## Sprinkler System



Questions were raised regarding the irrigation cycle for the common areas. The system runs from 7:00 pm—11:00 am. It is impossible to run the system 2x daily based on the time frame it takes to cycle through. There are 65 zones with multiple timer boxes that operate this system. The system has been shut down for the season.

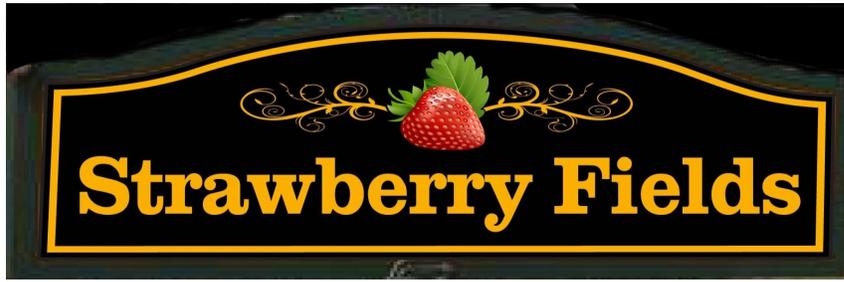
Moving forward should anyone see a broken head, shooting into the street or running for extended periods, please contact the management office at 208-762-9910 or Prestige Landscape at 208-699-9231. Please be sure to identify the location as detailed as possible such as an address and/or cross street.

## FENCING



Repairs have been made throughout the year to the existing fencing. Panels that were broken, bent or damaged were replaced with the limited stock of existing panels. IF you have a broken panel, post or rail that needs repair **(COMMON AREA FENCING ONLY)** Please call the office and we can schedule a repair for you before we run out of material. The existing fence material is no longer available. Future replacement from pressboard to vinyl will be completed as material and funds are available.

## MONUMENT SIGNS



As you may be aware, the city has implemented new setback requirements that would not allow for the movement or replacement of the current signs as the new requirement is to move back ten feet. This is possible with Prairie/Courcelles at a considerable expense in moving the planter, trees and plants. The Atlas/Strawberry sign does not have the room to move back ten feet therein, creating a mis-match signage for the development. The Board has searched for other options and tried to find solutions to making needed improvements on the existing signs that is also in need of repair. This is the new sign that will be installed in the next few weeks. The membership and the Board wanted something more appealing and upgraded. When asked if the electric company would install a feed when the light pole was installed, they declined. Solar lighting will be installed once the new signs are completed.

## SNOW REMOVAL



Black Diamond will be performing the snow removal again this year. Please note—they ONLY plow the walk path. The city plows ALL streets and the aprons at each corner. **PLEASE DO NOT SHOVEL SNOW INTO THE STREETS.** This creates huge berms and is a violation of city ordinance.

All Owners are responsible for shoveling snow in their driveways and sidewalks. This includes corner lots that extend around your property. ANYONE that does not maintain their area will be reported to the city. It is imperative that all residents maintain their property free of snow and ice as needed to prevent injury and to allow for children accessing the area for bus routes.

IF you are unable to shovel your driveways and sidewalks, please call the management office and they can arrange services for you through volunteers or a company that you may negotiate a price for services.

Please keep ALL vehicles off the street when possible to ensure the city can properly plow. Vehicles left on the street may experience plow in. This creates berms and narrowing of the roadways.



## Web Site



There are a lot of new residents in Strawberry Fields so to update everyone on the web site information page -

Please visit [www.strawberryfieldshayden.com](http://www.strawberryfieldshayden.com) You can view information and submit questions, concerns or submit plans for improvements.

The password to view the "members only" section is **Shortcake406!**

This will be updated later but all residents may use this password until further notice. The web site will be updating over the next few days .

HOA business is NOT conducted on any social media page. ALL information is located on the web site or by attending the quarterly Board meetings.

Information posted on social media may or may not be factual.